

Conditional Approval & Plan Review Report - Class 3 Building - 2015 NBC

Date: July 13, 2021

To: Town of Wadena
c/o: Ms. Anna Lazar
Acting Administrator
102 Main St. North
P.O. Box 730
Wadena, SK S0A 4J0
Phone: 1 (306) 338-4258
Fax: 1 (306) 338-3804

Regarding:	Building Permit Number:	2021-C001
	Municipality:	Town of Wadena, Saskatchewan
	Legal Description:	Blk G Plan 80H09004
	Civic Address:	Highway 5 East
	Owner:	Town of Wadena
	Contractor:	Eagle Builders / Aggregate Design Studios (Tyson Crampain)
	Project Name:	Wheatbelt Sales New Repair Garage / Assembly Building
	Construction Value:	Estimated \$235,000.00
	Permit Fee:	\$6.90/\$1,000.00 On \$2,699,332.50 + GST (5 PR Unit & 10 INSP Unit)

FOREWORD:

Hi Anna,

The plans provided at the end of June 2021 from the architect were in a word, interesting.

There are two ways of approaching spatial separation requirements for this project:

1. EITHER: There are no limiting distance lines and cross-exposure (Article 3.2.3.14 from Sentence 3.1.10.6(1)) applies because the new and existing buildings are subdivided by a 4-hour firewall. Do is calculated on both ends of the firewall and is applied and may be applied to one building or the other, but the required fire rating over the Do distance is 4-hours. The NBC does not prescriptively allow a 2-hour rating on two separate walls, but it will allow the full 4-hour rating on only one wall. If a 4-hour firewall is preferred for the south and east walls of the new building, then this would be the approach that the architect would need to take.
2. OR: A limiting distance line is set between the two buildings and limiting distances for fire compartments are determined as they would be for any property line. This limiting distance line must extend the full distance between both buildings. It can jog but limiting distances must still be taken to both lines. It cannot be discontinuous between the buildings. This approach is typically used in the absence of a firewall where two separate buildings are constructed even if the buildings are touching. If a 2-hour exterior wall rating is preferred for the south and east walls of the new building, then this would be the approach the architect would need to take.

This current approach (proposed by the Architect) of limiting distance lines that are discontinuous as shown on the drawings submitted by the architect in submission package # 2 – provided with Do values as well does not meet the prescriptive wording of the NBC.

Based on the drawings and the letter response from the Architect, it appears that the Architect is attempting to use approach number 1 above but has a few things wrong. It is possible with the firewall to avoid any fire rating on the existing building, but then both the south and east walls of the new building will require a 4-hour rating (i.e., approach number 1 above). The distance over which this 4-hour rating is required is Do and Do is to be measured from the northwest corner of the existing

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building – and (in either approach), Do needs to be based on the “required” limiting distance for the north wall of the existing building to have 100% unprotected openings; as well as, a separate Do calculation based on the “required” limiting distance for the west wall of the existing building to have 100% unprotected openings. In addition, the “required” limiting distance used for each separate Do calculation would need to be doubled due to the fire department response time being more than 10-minutes due to the rural location and non-full-time firefighting staff at the volunteer fire department.

Based on this foreword, the following conditional approval & plan review report has been compiled.

1. That the Owner(s), Design Consultant(s) and Contractor(s) ensure that revised drawing information is submitted to the Building Official, in relation to the proposed plans and specifications, required as part of the Plan Review (outlined in Part 1 below);
2. That the Owner(s), Design Consultant(s) and Contractor(s) ensure that corrections are made in relation to the proposed plans and specifications reviewed to date as part of the Plan Review (outlined in Part 2 below);
3. That the Owner(s), Design Consultant(s) and Contractor(s) ensure that the required additional information is submitted to the Building Official as required (outlined in Part 3 below); and,
4. That the Owner(s), Design Consultant(s) and Contractor(s) ensure that the required site inspection stages are called/emailed in to the Building Official (outlined in Part 4 below).

CONDITIONAL APPROVAL:

1. The Building Official has completed a Plan Review, in accordance with the Uniform Building and Accessibility Standards (UBAS) Act and 2019 UBAS Regulations. Based on the information contained in the Proposed Plans and Specifications submitted for the above Building Permit Application, in Package # 2, the proposed structure will be separated by a new 4-HR Masonry Firewall such that the new building will be classified as a Medium Hazard Industrial (Group F, Division 2) occupancy under Article 3.2.2.76 of Division B in the 2015 National Building Code (NBC); and, the existing building classification will remain as a Medium Hazard Industrial (Group F, Division 2) occupancy under Subsection 3.2.2. being unchanged as part of this project.
2. The applicable codes and acts, regulations for this project are the Uniform Building and Accessibility Standards (UBAS) Act and 2019 UBAS Regulations and Division B in the 2015 National Building Code (NBC) , the 2017 National Energy Code for Buildings (NECB) with amendments made by the UBAS Regulations. All articles quoted in the Plan Review Report are from the amended 2015 NBC & 2017 NECB.
3. It is suggested that once the project has been approved by all other municipal departments that a Building Permit be Conditionally Approved & Issued for the Entire Project rather than Foundations Only, subject to the information in the following pages of the Plan Review Report.
4. Please note that additional requirements may be determined/encountered during the Site Inspection stage(s), if construction is found to not meet the minimum requirements of the UBAS Act, 2019 UBAS Regulations, 2015 National Building Code (NBC) and the 2017 National Energy Code for Buildings (NECB).
5. The Approved Plans for this Building Permit can be downloaded from the following file folder location:

<https://ln4.sync.com/dl/afdfc2150/dxd4k89v-hqdc44q2-zaxqcaes-mx9v9ydr>

If you have any questions about the above conditions, please contact our office.

Yours truly,



Ty Tweidt, B.Sc.E., P.Eng., SRBO, Class 3 Building Official
C.E.O. & Senior Inspector
Cell: 1 (306) 541-3246

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PLAN REVIEW REPORT:

PART 1 – DRAWING REQUIREMENTS TO BE ADDRESSED BEFORE CONSTRUCTION COMMENCES ON THE FOUNDATIONS:

Please provide the following information, before beginning construction on the Foundations, for review and approval by the Building Official. This information may be emailed to both office@weare49north.ca and ty.tweidt@sasktel.net, in addition to being provided to the Municipal office, and must reference this Building Permit Number, Municipality and Site Location, otherwise a Stop Work Order may be issued:

1. Provide a letter signed and sealed by both the Architect and the Structural Engineer (with Saskatchewan Seals) confirming that the Foundations, as presently designed in the Approved Plans, will be sufficient to accommodate the 4-hour firewall along the entire south wall and entire east wall of the new building.
2. Provide a letter signed and sealed by both the Architect and the Structural Engineer (with Saskatchewan Seals) confirming that both the south and east walls of the new building will be provided with a 4-hour rating along the entire south wall length and west wall length.

PART 2 – DRAWING REQUIREMENTS TO BE ADDRESSED BEFORE CONSTRUCTION COMMENCES BEYOND THE FOUNDATION STAGE:

The following information must be submitted to the writer's attention before construction proceeds beyond the foundation stage, otherwise a Stop Work Order may be issued:

1. The Site Servicing/Grading Plans and Specifications submitted with the permit application package are marked as "Not for Construction". Based on the information provided, please resubmit complete Site Servicing / Grading Plans & Specifications, for review and approval by the Building Official. The Site Servicing/Grading Engineering must be a Professional Engineer licensed to practice in the province of Saskatchewan as per the UBAS Act & Section 8 of the 2019 UBAS Regulations.
2. The Architectural Plans and Specifications submitted with the permit application are signed and sealed with a Province of Manitoba Seals. Based on the information provided, please resubmit complete Architectural Plans & Specifications, for review and approval by the Building Official, with the changes noted in the balance of this report. The Architect must be an Architect licensed to practice in the province of Saskatchewan as per the UBAS Act & Section 8 of the 2019 UBAS Regulations.
3. The Eagle Building Tilt-Up Concrete walls on the South and East sides of the new building must provide a 4-hour fire-resistance rating in accordance with Sentence 3.1.7.1(2) and Appendix D-2.1.1.
4. Doors and windows located in the South and East walls of the new building must be provided with a 3-hour fire-protection rating in accordance with Article 3.1.8.4. This includes doors labelled as 001D, 003A, 001E, and 001K.
5. Access routes and on-site water supply must be provided for this building in accordance with Article 3.2.5.4., Article 3.2.5.5, Article 3.2.5.6, and Article 3.2.5.7. The water supply must be signed and sealed by the Professional Engineer responsible for the design.
6. All exit door hardware must conform to Article 3.4.6.16 of the NBC.
7. Please ensure the all construction activities conform to the requirements of Part 8 of the NBC.
8. Please ensure that all entrances conform to the barrier-free requirements of Article 3.8.2.2. of the NBC.
9. Please ensure that the barrier-free unisex washroom proposed for the new building conforms to the requirements of Article 3.8.2.3.

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PART 3 – ADDITIONAL INFORMATION THAT IS TO BE SUBMITTED TO THE BUILDING OFFICIAL AS IT BECOMES AVAILABLE:

The following information must be submitted to the writer's attention no later than, otherwise a Stop Work Order may be issued:

1. A copy of the Eagle Building's Tilt-Up Concrete Wall System Drawings, which have been signed and sealed by the Structural Engineer responsible for their design and construction. The Structural Engineering must be a Professional Engineer licensed to practice in the province of Saskatchewan as per the UBAS Act & Section 8 of the 2019 UBAS Regulations.
2. A copy of the Foundation Engineer's on-site inspection report(s).
3. A copy of the Structural Engineer's on-site inspection report(s).
4. A copy of the Mechanical Engineer's on-site inspection report(s).
5. A copy of the Electrical Engineer's on-site inspection report(s).
6. A copy of the Architect's on-site inspection report(s).
7. Copy of Sample Concrete test results.
8. Any changes to any design affected by the above-noted requirements or otherwise (addendums, site instructions, etc.).

PART 4 – REQUIRED PROJECT INSPECTIONS:

Please email office@weare49north.ca and ty.tweidt@sasktel.net to book an inspection with the Building Official for the following stages of construction. You must plan your project to allow three (3) workdays minimum notice to the Building Official for an inspection:

1. Prior to pouring the foundation concrete; but, after erection of grade beam forms, installation of reinforcing steel and installation of void form as per the engineered foundation plans.
2. Prior to pouring the slab-on-grade concrete; but after installation of reinforcing steel and installation of under slab mechanical and electrical items.
3. Once the pre-engineered eagle building is erected and, all roof trusses, , braces, as well as window and door openings are installed and all connections are complete.
4. Once mechanical rough ins are installed.
5. Once all electrical rough ins are installed.
6. Prior to installation of interior finish on exterior walls; but, after installation of insulation and vapour barrier.
7. Prior to occupancy after all construction is complete.
8. Three (3) additional site inspections will be carried out at unannounced times to check construction progress during the project.

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PART 5 – NOTES TO THE BUILDING PERMIT HOLDER:

Inspections of all buildings are made in an attempt to observe and record that minimum health and safety standards have been achieved. To ensure that the Building Official at 49North can provide an effective and efficient building Inspection program, the permit holder is required to notify the Building Official and request an Inspection at specific stages during construction. Construction is not permitted to proceed until the required Inspection has been made.

Please contact 49North to arrange for the required Inspections, which are contained in this Report and given to you along with the approved plans at the time of permit issuance. Failure to contact the Building Official at 49North or covering-up of work prior to the required Inspection, will result in work being opened at the Owner(s)'s and/or contractor's expense.

**YOU MAY E-MAIL IN INSPECTION REQUESTS TO THE BUILDING OFFICIAL **

It is the owner's and/or contractor's responsibility to arrange for Inspections requests as required above. A minimum of three (3) working days' notice must be provided to the Building Official prior to the requested Inspection after receipt of an Inspection request. Either office@weare49north.ca or ty.tweidt@sasktel.net may be utilized for the requests.

Ensure that all work conforms to the UBAS Act and NBC so that Follow-Up Inspections will not be required.

In accordance with Section 4 of the UBAS Act, please note that neither the issuance of a Building Permit, nor the Plan Review(s) and/or Inspection(s) made by the authorized representative of the authority having jurisdiction, shall relieve the owner of the building from full responsibility for carrying out the construction or having the construction carried out in accordance with the requirements of the Uniform Building and Accessibility Standards Act, the Building Bylaw or other applicable bylaws and/or regulations. If you feel that a Plan Review and/or site Inspection error and/or omission has been made, immediately inform the Building Official at 49North in writing. The Building Official and/or 49North will not be liable for any incidental, special, resultant, subsequent or consequential damages, lost profits, or any other indirect damages resulting from errors and/or omissions.



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Wheatbelt Sales



Wadena, Saskatchewan Service Building

Wheatbelt Sales
Service Building

SK-5
Wadena, Saskatchewan
Lot G, Plan 80-H-09004



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(403) 325-5125 P.O. BOX 1962 BLACKFALD, AB, T4A 0A0

Index

A0.0

Project number:
Date: 2021-06-09
Drawn by:
Checked by:
Scale:

SYMBOL LEGEND	
CONSTRUCTION REFERENCE	CONSTRUCTION TAG
EXTENSION REFERENCE	EXTENSION TAG
GRID NUMBER	GRID NUMBER
DOOR REFERENCE	DOOR TAG
ROOM NUMBER	ROOM TAG
DESCRIPTION	ROOM NAME
ELEVATION	ELEVATION
DRAWING NUMBER	DRAWING NUMBER
SHEET NUMBER	SHEET NUMBER
DRAWING NUMBER	DRAWING NUMBER
SHEET NUMBER	SHEET NUMBER
DRAWING NUMBER	DRAWING NUMBER
SHEET NUMBER	SHEET NUMBER
WINDOW REFERENCE	WINDOW TAG
ELEVATION	ELEVATION
DRAWING TITLE	DRAWING TITLE
SHEET NUMBER	SHEET NUMBER
SCALE	SCALE

DRAWING INDEX

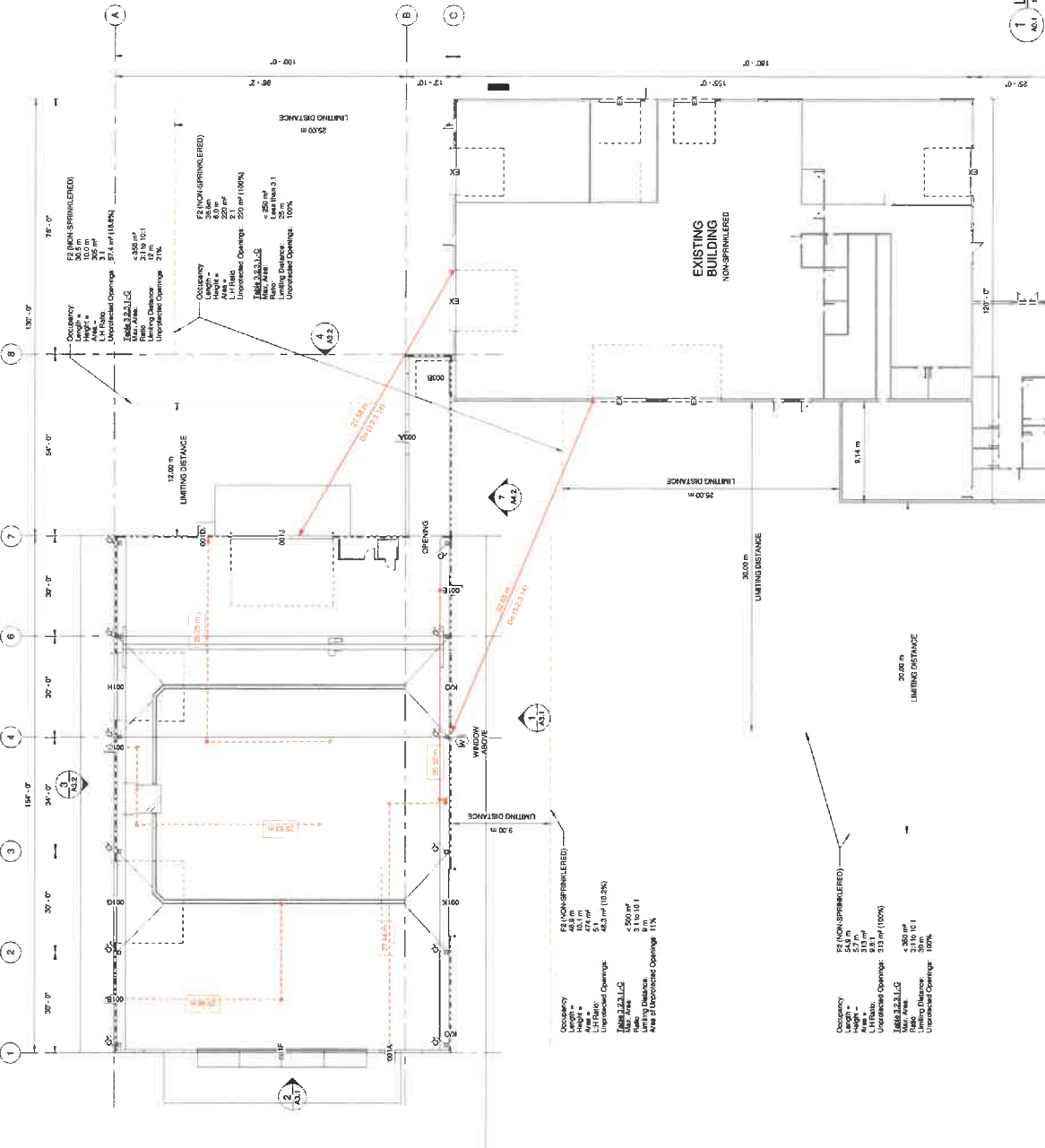
No.	DESCRIPTION
1	ARCHITECTURAL
2	MECHANICAL
3	ELECTRICAL
4	PLUMBING
5	HEATING
6	Cooling
7	Roofing
8	Structural
9	Foundation
10	Site Work
11	Landscaping
12	Signage
13	Interior Finishes
14	Exterior Finishes
15	Roofing
16	Structural
17	Foundation
18	Site Work
19	Landscaping
20	Signage
21	Interior Finishes
22	Exterior Finishes
23	Roofing
24	Structural
25	Foundation
26	Site Work
27	Landscaping
28	Signage
29	Interior Finishes
30	Exterior Finishes
31	Roofing
32	Structural
33	Foundation
34	Site Work
35	Landscaping
36	Signage
37	Interior Finishes
38	Exterior Finishes
39	Roofing
40	Structural
41	Foundation
42	Site Work
43	Landscaping
44	Signage
45	Interior Finishes
46	Exterior Finishes
47	Roofing
48	Structural
49	Foundation
50	Site Work
51	Landscaping
52	Signage
53	Interior Finishes
54	Exterior Finishes
55	Roofing
56	Structural
57	Foundation
58	Site Work
59	Landscaping
60	Signage
61	Interior Finishes
62	Exterior Finishes
63	Roofing
64	Structural
65	Foundation
66	Site Work
67	Landscaping
68	Signage
69	Interior Finishes
70	Exterior Finishes
71	Roofing
72	Structural
73	Foundation
74	Site Work
75	Landscaping
76	Signage
77	Interior Finishes
78	Exterior Finishes
79	Roofing
80	Structural
81	Foundation
82	Site Work
83	Landscaping
84	Signage
85	Interior Finishes
86	Exterior Finishes
87	Roofing
88	Structural
89	Foundation
90	Site Work
91	Landscaping
92	Signage
93	Interior Finishes
94	Exterior Finishes
95	Roofing
96	Structural
97	Foundation
98	Site Work
99	Landscaping
100	Signage

Floor Area
Permissible 68,92 m² 740,86 m²
Gravel 1,250 m² 16,142,85 m²

Building Information

BUILDING USE & CLASSIFICATION
NATIONAL BUILDING CODE OF CANADA - 2015 - 3.2.2.76
FIRE RESISTANCE RATING
COMBUSTIBLE FOR COMBUSTIBLE
COMBUSTIBLE FOR COMBUSTIBLE
BUILDING HEIGHT
MAX. 100'0" (30.48 m)
MAX. 100'0" (30.48 m)
MAX. 100'0" (30.48 m)

FIRE RESISTANCE RATING
RESISTANCE RATING NOT LESS THAN 100%
MEANS SHALL HAVE 10% OF COMBUSTIBLE CONSTRUCTION
ROOF ASSEMBLIES SHALL HAVE 10% OF COMBUSTIBLE CONSTRUCTION
A BUILDING NOT MORE THAN 10' STOREY IN BUILDING HEIGHT, THE FIRE
RESISTANCE RATING SHALL BE 10% OF COMBUSTIBLE CONSTRUCTION
THE PROOF ASSEMBLY IS CONSTRUCTED AS A FIRE RESISTANT
TREATED WOOD ROOF SYSTEM CONFORMING TO ARTICLE 3.1.14.1
ASSEMBLY REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL
CONFORM WITH THE FOLLOWING REQUIREMENTS:
1. THE ASSEMBLY SHALL HAVE A FIRE RESISTANCE RATING NOT LESS
THAN THAT REQUIRED FOR THE FIRE RESISTANCE RATING NOT LESS
3.4.2.5 MAX. TRAVEL DISTANCE FOR EXTERIOR



1 Life Safety Plan
A0.1 / 1/8\"= 1'-0\"

NO.	DESCRIPTION	DATE
A	ISSUED FOR PRELIMINARY REVIEW	2021-05-14
B	ISSUED FOR PRELIMINARY REVIEW	2021-05-18
C	ISSUED FOR PRELIMINARY REVIEW	2021-05-18
D	ISSUED FOR PRELIMINARY REVIEW	2021-05-18
E	ISSUED FOR PRELIMINARY REVIEW	2021-05-18
F	ISSUED FOR DEVELOPMENT PERMIT	2021-05-18
G	ISSUED FOR DEVELOPMENT PERMIT (REV. 1)	2021-05-18
H	ISSUED FOR DEVELOPMENT PERMIT (REV. 1)	2021-05-18
I	ISSUED FOR DEVELOPMENT PERMIT (REV. 1)	2021-05-18
J	ISSUED FOR DEVELOPMENT PERMIT (REV. 1)	2021-05-18
K	ISSUED FOR DEVELOPMENT PERMIT (REV. 1)	2021-05-18
L	ISSUED FOR DEVELOPMENT PERMIT (REV. 1)	2021-05-18
M	ISSUED FOR DEVELOPMENT PERMIT (REV. 1)	2021-05-18
N	ISSUED FOR DEVELOPMENT PERMIT (REV. 1)	2021-05-18

Wheatbelt Sales
Service Building
SK-5
Wadena, Saskatchewan
Lot G, Plan 80-H-09004



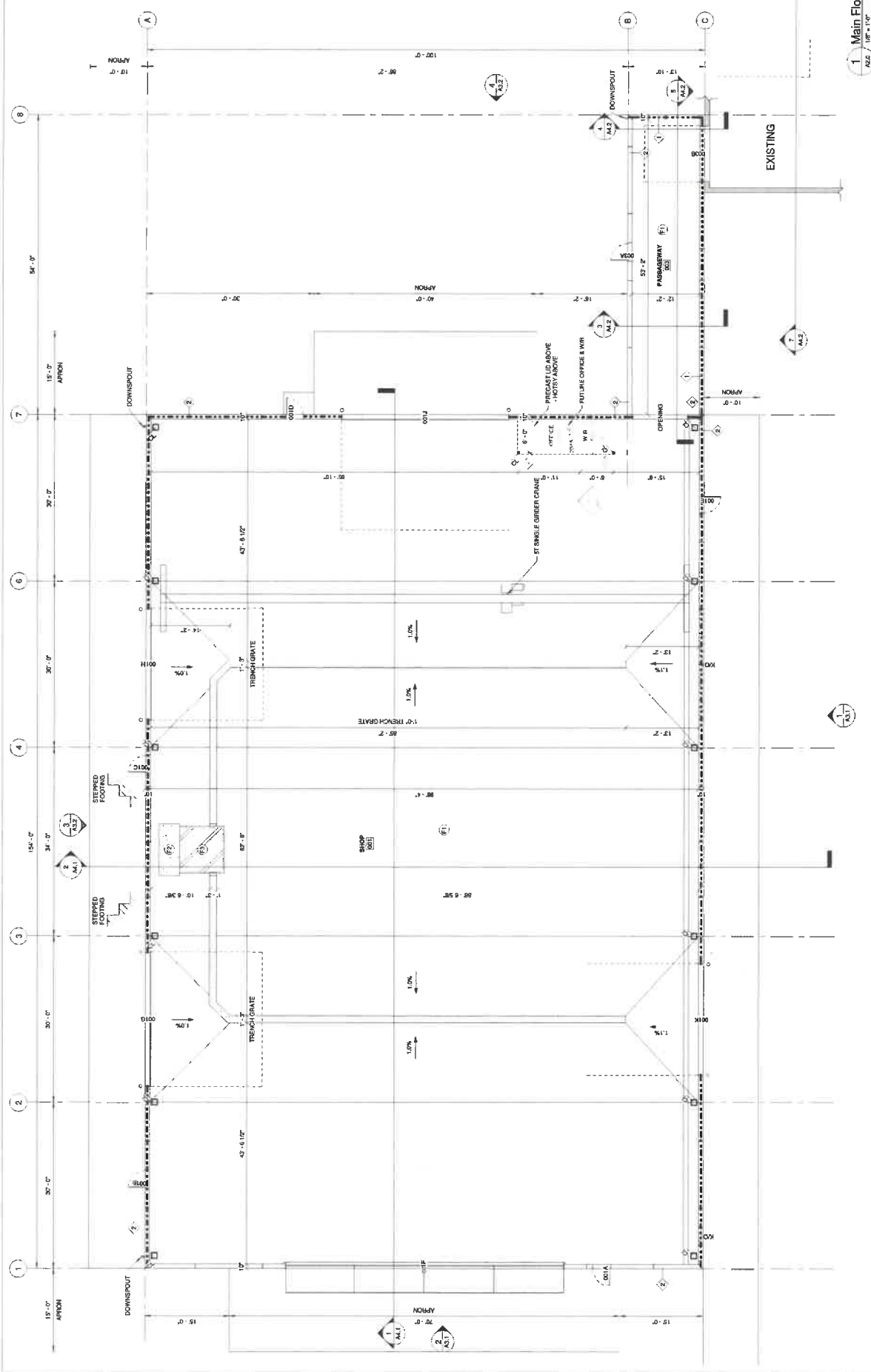
aggregate
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1403 885-5525 P.O. BOX 1699 BLACKFUTS, AB, T0A 0T0
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1403 885-5525 P.O. BOX 1699 BLACKFUTS, AB, T0A 0T0

Code Review, Code Compliance
A0.1
Project number:
Date: 2021-06-09
Drawn by:
Checked by:
Scale:

- NOTES
1. ALL DIMENSIONS SHALL BE FROM UNITSIDE OF FINISH FLOOR ROOF ASSEMBLY
 2. ADD BLOCKS BETWEEN ST. WALLS TO MAINTAIN MIN. 12" TYPE 'X' CYCLAM BOARD
 3. PRE SEPARATION AS SHOWN
- 3/4 HR
1 HR
2 HR
4 HR

- NOTE:
- ALL WASHROOMS AND JANITORS SHALL BE CONSTRUCTED WITH WALL FINISH UP TO 7' AFF.
 - ALL TRAIL WALLS ADJACENT TO WALLS TO BE CONSTRUCTED AT 1" GAP
 - 1" GAP SHALL BE TO GOS 6
 - 1/2" CYCLAM BOARD
 - FURNITURE NOT INCLUDED
 - ALL WORK BY ALL WORK SUPP.
 - FLOOR SLAB SHALL BE CONSTRUCTED WITH JOINTS & PERFORMANCES REE HIGH-ANAL FOR RANDOM COLL

- CONSTRUCTION TYPE S1
- WALL TYPES
1. 12" INSULATED PRECAST CONCRETE WALL WITH TYPE S CONCRETE 1/4" PER TABLE 03.11.3
 2. 12" INSULATED PRECAST CONCRETE WALL WITH TYPE S CONCRETE 1/4" PER TABLE 03.11.3
 3. 8" CONCRETE WALL WITH TYPE S CONCRETE 1/4" PER TABLE 03.11.3
 4. 12" CYCLAM BOARD
 5. 1" GAP
 6. 1/2" CYCLAM BOARD
 7. 1/2" CYCLAM BOARD



1 Main Floor Plan
A2.0 1/8" = 1'-0"

Project number: 2021-06-09
Date: 2021-06-09
Drawn by:
Checked by:
Scale:

Floor Plan - Addition

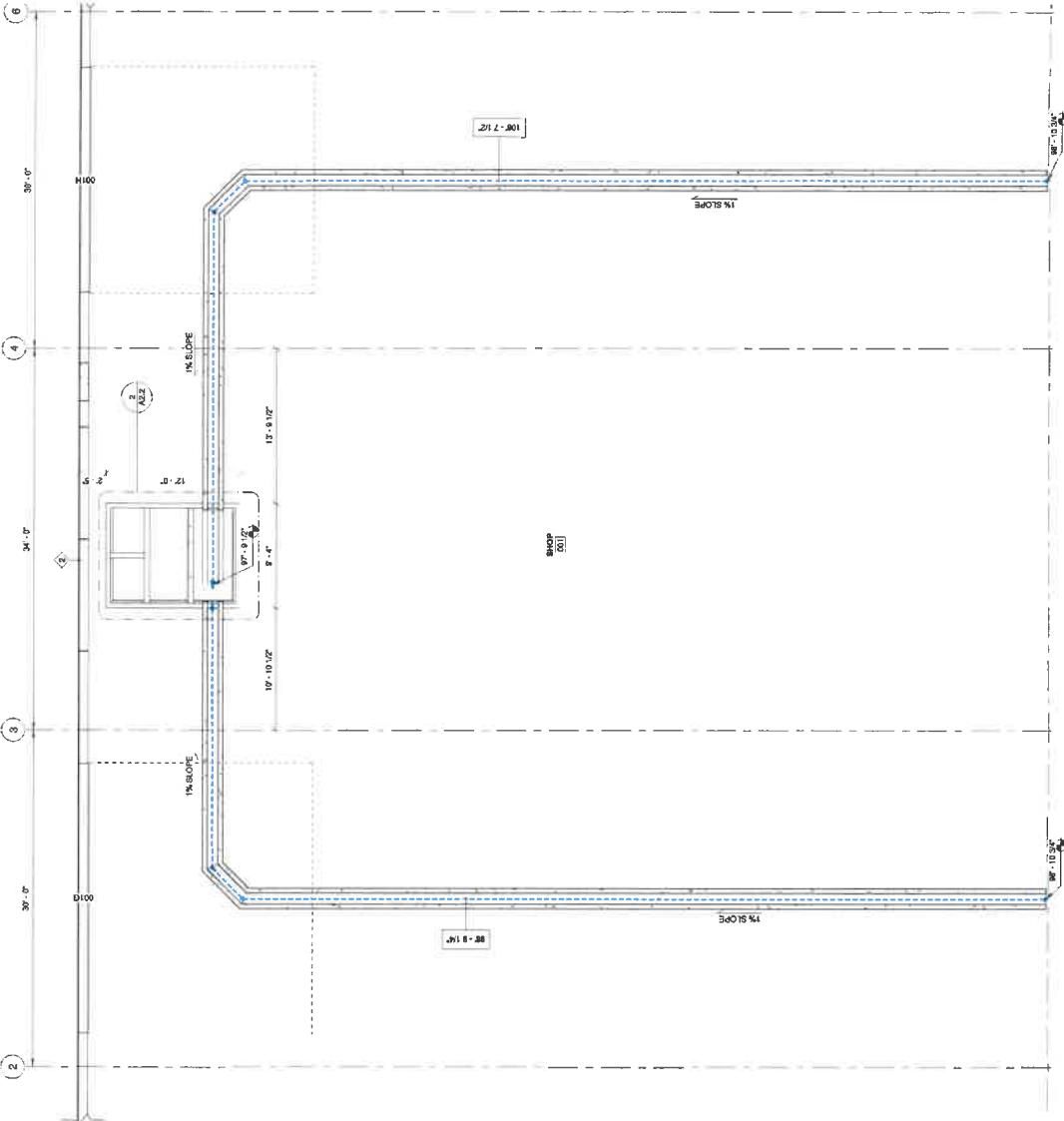
A2.0

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(403) 881-5515 P.O. BOX 1100 BLACKBURN, AB T4B 8B8
100% OF THE PROJECT COST SHALL BE PAID TO THE ARCHITECT BY THE OWNER. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT.

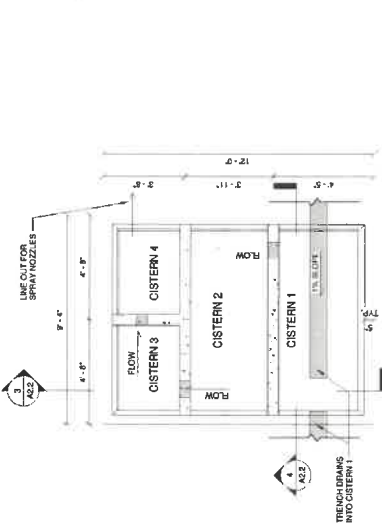


Wheatbelt Sales
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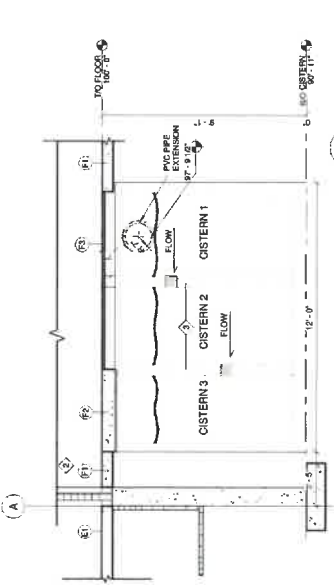
NO	DESCRIPTION	DATE
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B	ISSUED FOR PRELIMINARY REVIEW	2021-07-14
C	ISSUED FOR PRELIMINARY REVIEW	2021-07-14
D	ISSUED FOR PRELIMINARY REVIEW	2021-07-14
E	ISSUED FOR PRELIMINARY REVIEW	2021-07-14
F	ISSUED FOR PRELIMINARY REVIEW	2021-07-14
G	ISSUED FOR PRELIMINARY REVIEW	2021-07-14
H	ISSUED FOR PRELIMINARY REVIEW	2021-07-14
I	ISSUED FOR PRELIMINARY REVIEW	2021-07-14
J	ISSUED FOR PRELIMINARY REVIEW	2021-07-14
K	ISSUED FOR PRELIMINARY REVIEW	2021-07-14
L	ISSUED FOR PRELIMINARY REVIEW	2021-07-14



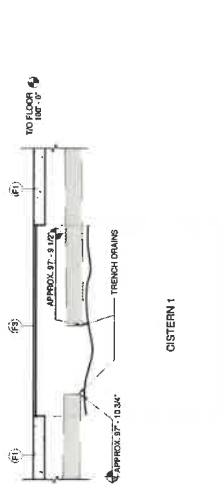
1 Main Floor Trench Plan
A2.2 3/16" = 1'-0"



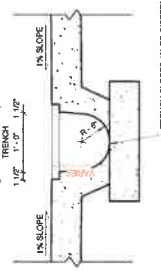
2 Cistern Plan
A2.2 3/8" = 1'-0"



3 Cistern Section A
A2.2 3/8" = 1'-0"



4 Cistern Section B
A2.2 3/8" = 1'-0"



5 TYP Trench Section
A2.2 1" = 1'-0"

NO.	DESCRIPTION	DATE
C	ISSUED FOR PRELIMINARY REVIEW	2021-07-15
D	ISSUED FOR PRELIMINARY REVIEW	2021-07-24
E	ISSUED FOR PRELIMINARY REVIEW	2021-08-10
F	ISSUED FOR PRELIMINARY REVIEW	2021-08-16
H	ISSUED FOR BUILDING PERMIT	2021-08-11
I	ISSUED FOR BUILDING PERMIT (REV. 1)	2021-08-27
J	ISSUED FOR BUILDING PERMIT (REV. 2)	2021-08-27
K	ISSUED FOR BUILDING PERMIT (REV. 3)	2021-08-27

**Wheatbelt Sales
Service Building**

SK-5
Wadena, Saskatchewan
Lot G, Plan 80-H-09004

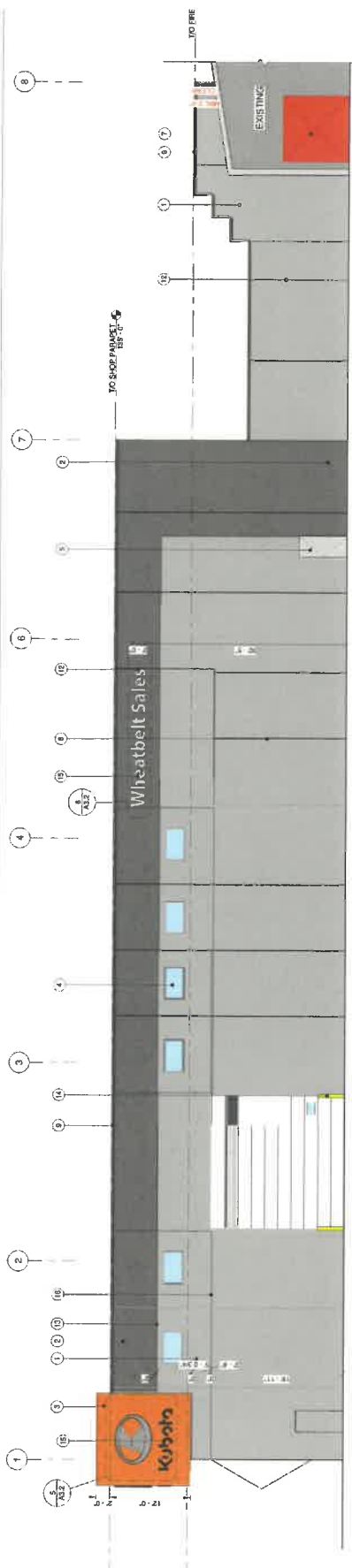


**aggregate
design studio ltd.**
4032 862-5525 T.O. 862-5525 BLACK HILLS, AB, T0A 0J0
DESIGN OF BUILDINGS AND LAND LAYOUTS TO THE SATISFACTION OF OUR CLIENTS AND THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT AND THE ENGINEERING COUNCIL OF ALBERTA. WE ARE NOT RESPONSIBLE FOR THE DESIGN OF ANY OTHER WORKS OR FOR THE CONSTRUCTION OF ANY WORKS. WE ARE NOT RESPONSIBLE FOR THE DESIGN OF ANY OTHER WORKS OR FOR THE CONSTRUCTION OF ANY WORKS.

Project number:	2021-06-09
Date:	2021-06-09
Drawn by:	
Checked by:	
Scale:	

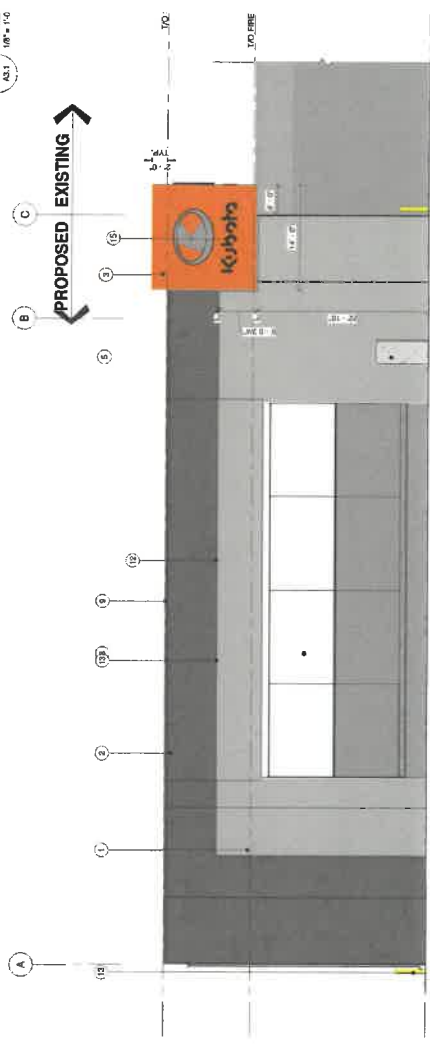
Trench Plan & Details

A2.2



1 South
A3.1 / 1/8" = 1'-0"

PROPOSED EXISTING



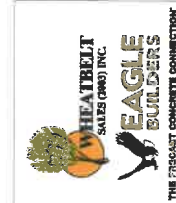
2 West
A3.1 / 1/8" = 1'-0"

- MATERIAL LEGEND**
- 1) PRECAST CONCRETE PANEL (LIGHT GREY / REGENT GREY) - SMOOTH FINISH
 - 2) PRECAST CONCRETE PANEL (DARK GREY / ANTIKLOTT GREY) - SMOOTH FINISH
 - 3) 4CM PANELS (KUBOTA ORANGE - CLIENT TO CONFIRM)
 - 4) CLEAN ANODIZED ALUMINUM WINDOW FRAME
 - 5) PRIME 3 AND PAINTED INSULATED METAL DOOR
 - 6) PRE-FINISHED INSULATED METAL OVERHEAD DOOR (WHITE)
 - 7) PRE-FINISHED INSULATED METAL OVERHEAD DOOR W/ FIRE SHUTTERS (WHITE)
 - 8) PRE-FINISHED INSULATED METAL FOLD DOOR (WHITE)
 - 9) PRE-FINISHED METAL PARAPET FLASHING (WEST FORM DARK BRONZE PVDF - CLIENT TO CONFIRM)
 - 10) ALUMINUM EXTERIOR TRUSS (CHARCOAL GREY)
 - 11) ALUMINUM DOWNSPOUT (CHARCOAL GREY)
 - 12) PRECAST CONCRETE PANEL JOINT
 - 13) PRECAST CONCRETE REINFORCING
 - 14) CONCRETE FALLOUT BOLTS (YELLOW)
 - 15) GUTTER
 - 16) WEILMUT

NO.	DESCRIPTION	DATE
F	ISSUED FOR DEVELOPMENT PERMIT	2021-05-14
G	ISSUED FOR DEVELOPMENT PERMIT (REV 1)	2021-05-02
H	ISSUED FOR DEVELOPMENT PERMIT (REV 2)	2021-04-27
I	ISSUED FOR BUILDING PERMIT (REV 1)	2021-04-27

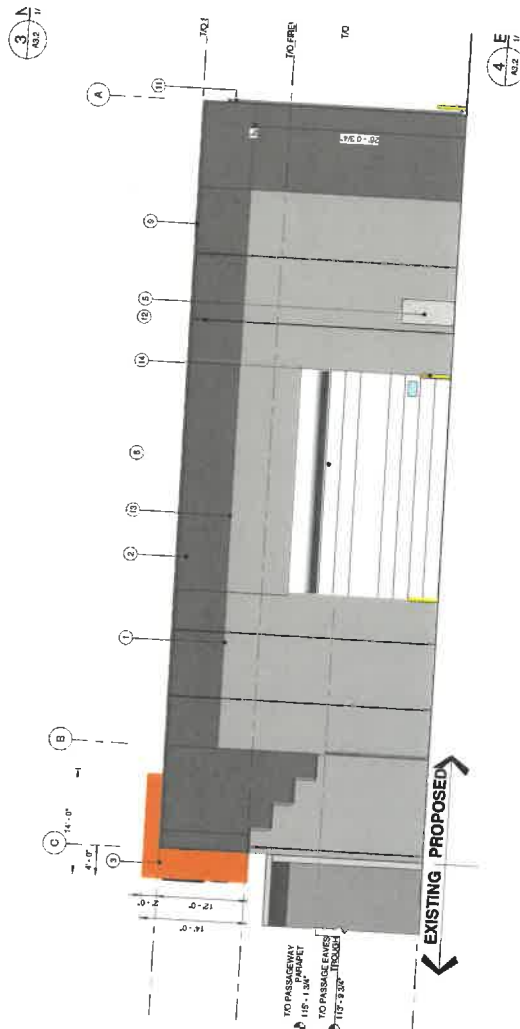
Wheatbelt Sales Service Building

SK-5
Wadena, Saskatchewan
Lot G, Plan 80-H-09004



aggregate design studio ltd.
(903) 882-5525 P.O. BOX 1490 BLACKFALDS, AB, T0M 0J0
DESIGN AND DRAWING
WE warrant that the drawings were prepared by us or under our direct supervision and that we are a duly licensed professional engineer or architect in the province of Alberta. We warrant that the drawings were prepared by us or under our direct supervision and that we are a duly licensed professional engineer or architect in the province of Alberta. We warrant that the drawings were prepared by us or under our direct supervision and that we are a duly licensed professional engineer or architect in the province of Alberta.

Project number:	2021-06-09
Date:	2021-06-09
Drawn by:	
Checked by:	
Scale:	A3.1



EXISTING PROPOSED

Wheat

1. PRECAST CONCRETE PANEL (LIGHT GREY) PRESENT GREY (SMOOTH FINISH)
2. PRECAST CONCRETE PANEL (DARK GREY) (ANTI RACQUIT GREY) (SMOOTH FINISH)
3. ACM PANELS (IN BOTH ORANGE - CLIENT TO CONFIRM)
4. CLEAR ANODIZED ALUMINUM WINDOW/DOOR FRAME
5. PRIMERED AND PAINTED INSULATED METAL DOOR
6. PIPE FINISHED INSULATED METAL OVERHEAD DOOR (WHITE)
7. PIPE FINISHED INSULATED METAL OVERHEAD DOOR W/ PIPE SLATTERS (WHITE)
8. PIPE FINISHED INSULATED METAL W/ OLD DOOR (WHITE)
9. PIPE FINISHED METAL PAINT/UTLISHING (WESTWOOD DARK BRONZE PVD - CLIENT TO CONFIRM)
10. ALUMINUM RAKES THROUGH CONCRETE GREY
11. ALUMINUM DOWNSPOUT (CHARCOAL GREY)
12. PRECAST CONCRETE PANEL JOINT
13. PRECAST CONCRETE REVEAL
14. CONCRETE FILLED DOLLARS (YELLOW)
15. SOINAGE
16. RESLET

5
A3.2

SIGNAGE NOTES:
• ALUMINUM INDIVIDUAL LETTERING
• INTERNALLY ILLUMINATED
• DIRECTLY ATTACHED TO ACM PANELS
• CONFIRM WITH CLIENT

6 Wheatbelt Signage
A32 3'8" x 1'-0"

SIGNAGE NOTES:
ALUMINUM INDIVIDUAL LETTERING
INTERNALLY ILLUMINATED
DIRECTLY ATTACHED TO PRECAST
CONCRETE WITH CHISEL

NO.	DESCRIPTION	DATE
F	ISSUED FOR DEVELOPMENT PERMIT	2021-07-16
G	ISSUED FOR DEVELOPMENT PERMIT (REV 1)	2021-09-03
H	ISSUED FOR BUILDING PERMIT	2021-04-12
I	ISSUED FOR BUILDING PERMIT (REV 1)	2021-04-27

**Wheatbelt Sales
Service Building**

SK-5
Wadena, Saskatchewan
Lot G, Plan 80-H-090004

PLATE 1

Stamp:

aggregate
design studio ltd.

DO NOT LEAVE DRAWING
INSTRUMENTS AND/OR
DRAWINGS UNATTENDED
WHILE YOU ARE WORKING.
ALL WORK MUST COMPLY WITH THE
REQUIREMENTS OF THE
NATIONAL ELECTRICAL
CODE (NEC) AND THE
NATIONAL FIRE ALARM
CODE (NFAC).

Elevations

A3.2

Project number:	
Date:	2021-06-09
Drawn by:	
Checked by:	
Scale:	

Rate:



Town of Wadena

PO Box 730, Wadena, SK. S0A 4J0
Tel: 306-338-2145 Fax: 306-338-3804
email: wadenapermits@sasktel.net

No. **0027**

Order to Remedy

Your cooperation is requested; further violation may result in court action.

Civic/Legal Address of Offense: **37 8th SE NE**

Lot _____ Block _____ Plan _____ Civic _____

The above named property was inspected on **July 12**, 20 **21**, and was deemed to be in violation of Bylaw **08-05-519**. The following deficiencies were noted.

Description of Requirement		
Dilapidated Buildings		Unoccupied Buildings
Overgrown Grass and Weeds	X	Untidy and Unsightly Property 519
Junked Vehicles		Open Excavations
Maintenance of Yard		Outdoor Storage of Material
Refrigerators and Freezers		Fences
Other:		

DESCRIPTION OF WORK TO BE COMPLETED:

Remove old battery, Tire rims, old folding doors, etc, and parts, 3 new windows, proper vents and lumber

Compliance with this Order is required on/or before the **27** day of **July**, 20 **21**.

A person may, within 15 (fifteen) days after the date of this order, appeal to council, through the Chief Administrative Officer, to show just cause why the work should not be done.

Please note an appeal does not operate as a stay of Order appealed from unless Council decides otherwise. Failure to remedy the contravention or in not registering an appeal to Council through the Chief Administrative Officer may result in being served a Notice of Violation, _____, or the Municipality taking whatever actions or measures necessary to remedy the contravention and unpaid expenses and costs incurred by the Municipality in remedying a contravention may be added to the taxes on the property on which the work is done.

If you have any questions and/or concerns with this Order to remedy please feel free to contact our office.

Issued this **12** day of **July**, 20 **21**.

Signature _____

Hand Delivered _____ Posted ☒ Regular Mail _____

White Copy to Offender

Yellow Copy to Bylaw Enforcement Officer

Pink Copy to Office

From: wadenapw@sasktel.net
Sent: Thursday, July 15, 2021 10:06 AM
To: sarah.wilcox3@gov.sk.ca
Cc: CAO; wadrec@sasktel.net
Subject: Town of Wadena-ICIP Funding
Attachments: rfq_wadena_rec_center_roof_replacement_20210630.pdf

Hey Sarah,

Please find below our scope of work to be completed at the Recreation Facility. I have also attached our RFP just in case you wanted to see it and if I missed anything.

4 SCOPE OF WORK

4.1 Asphalt Shingle Roof

The work involves replacement of the existing roof system with a new asphalt shingle roof system and includes the following scope of work:

1. Removal and disposal of all existing asphalt shingles including underlayment down to the wood roof deck.
2. Installation of a synthetic roof underlayment.
3. New asphalt shingle roof complete with all required accessories, trim, closures, flashings and vents.

NOTES:

- The product manufacturer shall supply the Town with a written and signed document, certifying the performance of the products and the consistency of the properties of such products affecting their performance for a minimum period of ten (10) years from date of acceptance. Provide site access to the manufacturer's representative(s) as required during construction for site inspections.
- The Contractor shall supply the Town with a written and signed document, certifying that all work completed shall remain as installed, free from any roofing defect, for a period of two (2) years from date of acceptance.
- Equals, Alternates and Substitutes: It is understood that any product proposed for the specified project must be submitted five (5) days prior to close date on the RFQ:
 - o Independent laboratory analysis and comparison of the product, general design, photos and specifications.
 - o Wind uplift analysis and assembly description certified by a qualified engineer or architect.
 - o The laboratory analysis and comparisons must provide evidence that the product designated for substitution is equal or superior in all aspects including performance, to that specified.
 - o To accompany the laboratory results must be a list of three (3) completed projects using similar products in western Canada.
 - o All items must be submitted five (5) days prior to close date on the RFQ and include submittal information with evidence that the product designated for substitution is equal or superior in all aspects including performance, to that specified.

We can also provide all information from the contractor as stated in the RFP after work has been completed. If you require anything else please do not hesitate to contact me.

Warm Regards,

From: wadenapw@sasktel.net
Sent: Thursday, July 15, 2021 8:25 AM
To: CAO
Subject: Capital Project List

Hey Laurie, as requested please see the information below in regards to capital projects, status and if they relate to grant funding.

Service codes:
GG-General Government
TS- Transport Services
RC- Recreation
UW- Water
US- Sewer

CODE	Project	Status	Funding
TS- Capital (530-600-140)	Public Works shop overhead door replacement	pending awaiting quotes	no grants
RC- Capital (570-600-123)	Rec Center Roof Replacement	Tender and bid opening is scheduled for July 22 nd	- ICIP Grant (Covid Resilience Stream, Must send detailed component listing which will be done today then we will awaiting Draft ULA)
RC- Capital (570-600-123)	Rec Centre Emergency Lighting	Pending, need to obtain quotes	A grant was applied for but was not received- work is still scheduled to happen to my knowledge
RC- Capital-Pool(570-600-127)	Pool Upgrade	Contract awarded to Pat McGinn Eng. and Paradise Leisurescapes work is scheduled to start. Contract signed. August 2 with an end date estimated in September. Pool liner and skimmers have been ordered but I believe has a backlog and leisurescapes say they have some items on stock	MEEP
RC- Capital (570-600-127)	Pool Liner	Rolled in with McGinn and Paradise	MEEP/ Insurance
UW- Capital WTP (580-600-120)	Robotic Cleaning of Clearwell	Complete	No grant funding
UW- Capital Fire Hydrants (580-600-135)	Hydrant Replacement	Pending- Supplies Ordered work scheduled for August	No grant funding

UW- Capital- Wells (580-600-165)	Well 4 Pump Replacement	Quotes obtained and work scheduled-ASAP	No grant funding
UW- Capital- Wells (580-600-165)	Well Rehabilitation	Quotes obtained and work scheduled- ASAP	No grant funding
UW- Capital- Wells (580-600-165)	GUDI Study	Quotes obtained and work scheduled-September	No grant funding
US Capital (585-600-114)	Main Lift Master Control Center	Parts are ordered and was awarded to TG Electric work must be Complete by Nov 1.st and we submit the invoices and information to our insurance company	Insurance- No grant funding
US Capital (585-600-123)	Lagoon Force Main Connections	RFP ready to be submitted to Sask Tenders would like to up no later then August and close Mid august so work may begin at the end of September- This was the 1 st RFP I wrote and will need help to put on Sask tenders so this moves forward smoothly	No grant funding

Hope this helps, please let me know if you need anything else.

Warm Regards,

Alyshia Neuman

Manager of Work and Operation

Town of Wadena

Box 730 Wadena SK S0A 4J0

Office:306-338-2145

Cell: 306-338-7572

wadenapw@sasktel.net

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